

LIBERTY REMODEL & ADDITION

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Search Results (1 Parcels)

CAMPBELL, JAMES EDWARD ...
2015 LIBERTY DR

[CAMA Report](#) [Community Info](#)
[Well and Septic](#) [Neighborhood Sales](#)
[Parcel Verify](#) [Tax Appraisal Information](#)
[Tax Bill](#) [Card Image](#) [Oblique Photos](#)

Parcel Number	15397
PIN	7855876078
Owner	CAMPBELL, JAMES EDWARD II; CAMPBELL, PAIGE MARIE
Owner History	Card Image
Mail Address	3718 EDGEWOOD DR
Mail City	GREENSBORO
Mail State	NC
Mail Zip	27406
Property Address	2015 LIBERTY DR
Legal Description	21 PB16-74 FAIRFIELD HOM PL16-74
Deed	008655-02940
Plat	16-74



DISCLAIMER:

- GREAT CARE HAS BEEN TAKEN WHILE CREATING THESE CONSTRUCTION DOCUMENTS. HOWEVER, THESE DRAWING AND SPECIFICATION ARE NOT INTENDED TO CONVEY ALL INFORMATION REQUIRED FOR CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL SYSTEM INSTALLATION REQUIREMENTS, ROUGH-IN CONNECTIONS, AND MATERIAL REQUIREMENTS. WHEN CONSTRUCTION METHODOLOGY & SPECIFICATIONS ARE NOT ADDRESSED HEREWITH, THE PERMITTING CONTRACTOR SHALL PERFORM IN STRICT COMPLIANCE WITH MFG'S SPECIFICATIONS.
- WORK PERFORMED BY THE CONTRACTOR OR SUBCONTRACTORS SHALL CONFORM WITH ALL PROVISIONS OF THE LATEST EDITION OF THE STANDARD BUILDING CODE AND ALL APPLICABLE CODES.
- HOME DESIGNS BY DAN SHALL NOT ASSUME LIABILITY FOR ANY CHANGES MADE TO THESE PLANS BY OTHERS.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COMPARE AND COORDINATE ALL DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPORT ANY DRAWING BEFORE DISCREPANCY TO HOME DESIGNS BY DAN OR APPROPRIATE PROJECT ENGINEER BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY SOIL CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY DESIGNER & ENGINEER OF ANY DISCREPANCIES IN THE DESIGN PRIOR TO PROCEEDING WITH THE WORK. FAILURE OF THE STRUCTURE DUE TO UNSUITABLE SOIL BEARING CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR IF HE FAILS TO NOTIFY AS DIRECTED.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN A SAFE JOB SITE AND TO FOLLOW THE STANDARDS AND REGULATIONS FOR CONSTRUCTION ESTABLISHED FOR THE LOCATION OF THE PROJECT. THE OWNER, DESIGNER & ENGINEER SHALL BE HELD HARMLESS FOR THE ACTS AND FAILURES OF THE CONTRACTOR.
- THE LOCATION OF EXISTING UTILITIES, GRADES, TREES AND EXISTING STRUCTURE ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF SUCH ITEMS WHETHER SHOWN HEREON OR NOT. ANY DISCREPANCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY ADDITIONAL COSTS SHALL BE HIS.
- HANDRAILS AND GUARDRAILS SHALL BE INSTALLED PER NORTH CAROLINA STATE BUILDING CODE.
- THESE DRAWING AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF HOME DESIGNS BY DAN. THE OWNERS SHALL BE PERMITTED TO RETAIN COPIES OF DRAWINGS AND SPECIFICATIONS FOR INFORMATION AND REFERENCE IN CONSTRUCTION WITH THE OWNER'S USE ON THIS PROJECT. THESE DRAWINGS SHALL NOT BE USED BY ANYONE ON ANY OTHER PROJECT WITHOUT WRITTEN AGREEMENT FROM HOME DESIGNS BY DAN INCLUDING APPROPRIATE COMPENSATION.
- WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

LEDGER

A1 TITLE / COVER / SITE
A2 PLAT/STANDOFFS
A3 AS-IS FOUNDATION & MAIN LEVEL (W/DEMO INFO)
A4 PROPOSED DECKS W/FOUNDATION INFO / MAIN LEVEL FLOOR PLAN (W/WINDOW & DOOR SCHEDULE)
A5 PROPOSED 2ND LVL. LAYOUT W/FLOOR JOIST INFO & (WINDOW & DOOR SCHEDULE)
A6 PROPOSED ROOF PLAN / ATTIC FLOOR INFO & (WINDOW SCHEDULE)
A7 ELEVATIONS (FRONT & RIGHT)
A8 ELEVATIONS (REAR & LEFT)

GENERAL NOTES AND SPECIFICATIONS

THE HOME BUILDER SHALL FULLY COMPLY WITH ANY AND ALL UPDATES TO THE 2018 IBC AND ALL ADDITIONAL STATE OF N.C. AND LOCAL CODE REQUIREMENTS.

THE BUILDER SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE HOME BUILDER SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY DANIEL WHITAKER OF ANY VARIATIONS FROM THESE DRAWINGS.

THE HOME BUILDER IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE HOME BUILDER SHALL NOTIFY DANIEL WHITAKER WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF SAID PLANS.

DANIEL WHITAKER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE HOME BUILDER & SUB-CONTRACTORS, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF DANIEL WHITAKER BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWING DANIEL WHITAKER TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE HOME BUILDER.

DESIGN CRITERIA: 2018 IRC (BASED ON THE 2015 IBC) EFFECTIVE 1/1/2019

ROOF: 20 PSF SNOW LOAD (MINIMUM)
*8 PSF TOP CHORD DL.
*7 PSF BOTTOM CHORD DL.
*5 PSF NET WIND UPLIFT.

FLOOR: 40 PSF LL.
*10 PSF TOP CHORD DL.
*5 PSF BOTTOM CHORD DL.

SOIL: *2,000 PSF ALLOWABLE (ASSUMED). TO BE AT TIME OF EXCAVATION
FROST DEPTH: *2'-0"
SEISMIC ZONE: C,
WIND: 115 MPH

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

Lakenridge Builder Inc. Assumes any and all ongoing construction requirements according to 2012 NC Building Code (based on the 2009 IBC) & 2009 ANSI A117.1 Standards and requirements

GENERAL NOTES CONT'D

- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 EDITION OF THE CBC, CMC, CPC, AND THE CEC.
- BEFORE ANY WORK HAS BEGUN, THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE BUILDING AND SITE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS NOTING EXISTING WORK TO REMAIN AND NOTIFYING THE OWNER AND DRAFTER IN WRITING OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS.
- ANY OMISSIONS, CONFLICTS, OR DISCREPANCIES BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND DRAFTER. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN THE TRADES WHERE REQUIRED IS ACCOMPLISHED.
- VERIFY ALL OPENINGS THROUGHOUT CONSTRUCTION WITH ALL PARTICIPANTS TRADES SUCH AS HEATING, PLUMBING, ELECTRICAL TRADES FOR SIZE AND LOCATION. NOTIFY OWNER AND DRAFTER IN WRITING OF ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS.
- FOLLOW DIMENSIONS EXPLICITLY, DO NOT SCALE DRAWINGS. CONFIRM WITH DRAFTER BEFORE PROCEEDING IF CONFLICT ARISE.
- POOL, SPAS, WALLS, FENCES, PATIO COVERS, AND OTHER FREE STANDING STRUCTURES REQUIRE SEPARATE PERMIT AND REVIEW.
- CONTRACTOR WITH HIS SELECTED H.V.A.C. SUBCONTRACTOR TO ASSESS EXISTING H.V.A.C. SYSTEMS TO DETERMINE FUNCTIONALITY & CODE COMPLIANCE. MAKE RECOMMENDATIONS TO OWNER AS TO PROPOSED MODIFICATIONS & COST. ADVISE OWNER AND DRAFTER IF FRAMING MODIFICATIONS ARE NECESSARY.
- VERIFY & COORDINATE EXTERIOR HARDSCAPE, LANDSCAPE & IRRIGATION SYSTEMS WITH OWNER AND LANDSCAPE DRAFTER/ARCHITECT.

AS-IS STRUCTURE	
Bldg Type	SFR-CONST
Units	1
Living Area (SQFT)	936
Number of Stories	1
Style	1 STORY
Foundation	CONFTOFT
Exterior	ALUM OR VINYL
Const Type	STICK/FRAMED
Heating	FORCED AIR-DUCTED
Air Cond	CENTRAL
Plumbing	Baths (Full): 1 Baths (Half): 0 Extra Fixtures: 2 Total Plumbing Fixtures: 3
Bedrooms	2
Main Body (SQFT)	936 (SQFT)

PROPOSED REMODEL / ADDITION	
Bldg Type	SFR-CONST
Units	1
Living Area (SQFT)	1,872
Number of Stories	2
Style	2 STORY MOD/FARM HOUSE
Foundation	CONFTOFT
Exterior	CEMENTUOUS FIBER
Const Type	STICK/FRAMED
Heating	FORCED AIR-DUCTED
Air Cond	CENTRAL
Plumbing	Baths (Full): 3 Baths (Half): 0 Extra Fixtures: 2 Total Plumbing Fixtures: 5
Bedrooms	4
Main Body (SQFT)	1,872 (SQFT)



TRUE CUSTOM WORKMANSHIP, DESIGNED & BUILT
OWNER & CRAFTSMAN: JAMIE CAMPBELL 336-587-6211

CLIENT LAKENRIDGE BUILDERS

TITLE
LIBERTY
REMODEL &
ADDITION

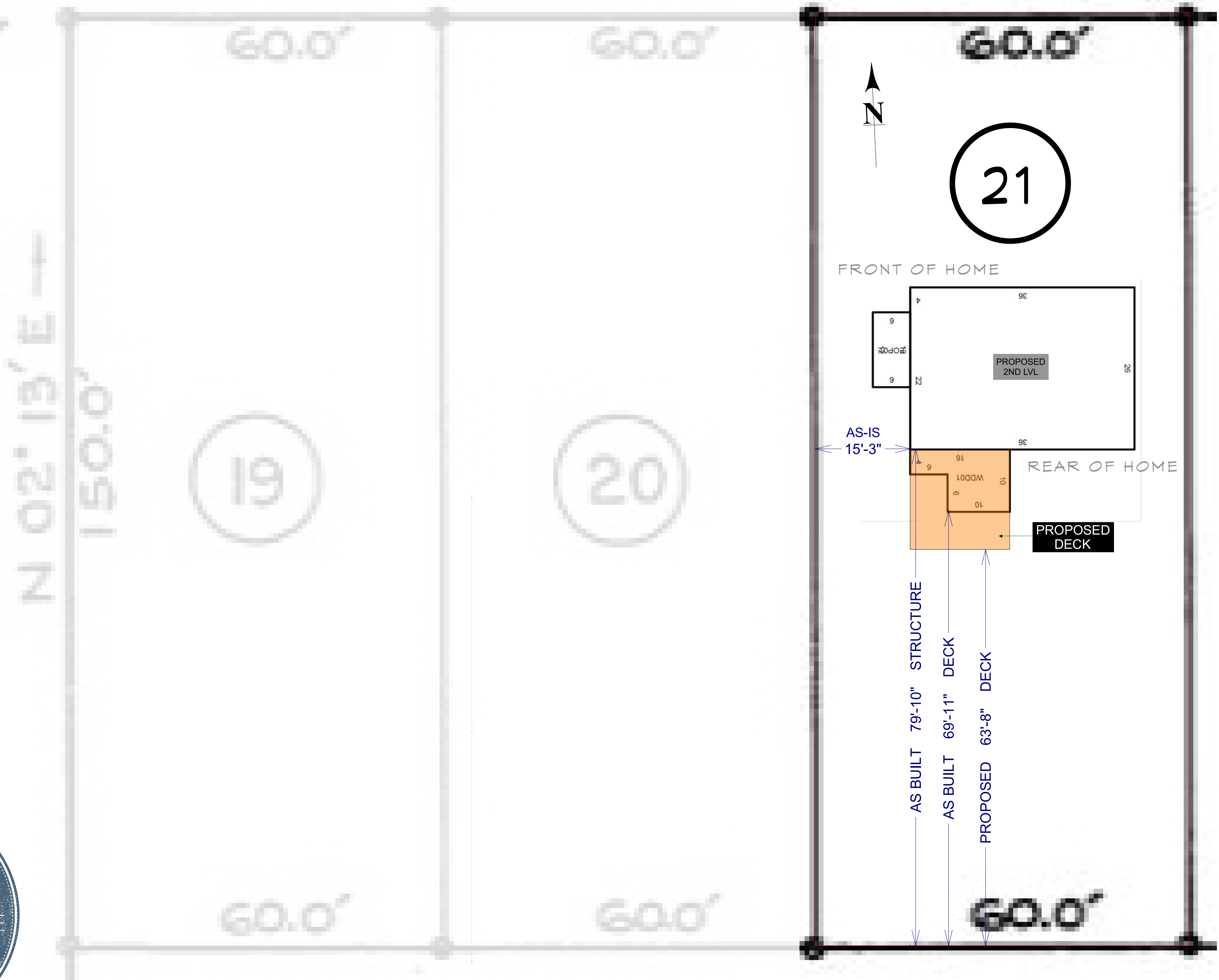
DATE
11/10/2022

SCALE - (UNO)
1/4" = 1'

SHEET
A1

PLAT (STANDOFFS) SCALE: 1/8" = 1'-0"

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CLIENT
LAKENRIDGE BUILDERS

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SHEET
A2



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AS-IS FOUNDATION & MAIN W/DEMO & REUSE NOTES SCALE: 1/4" = 1'-0"

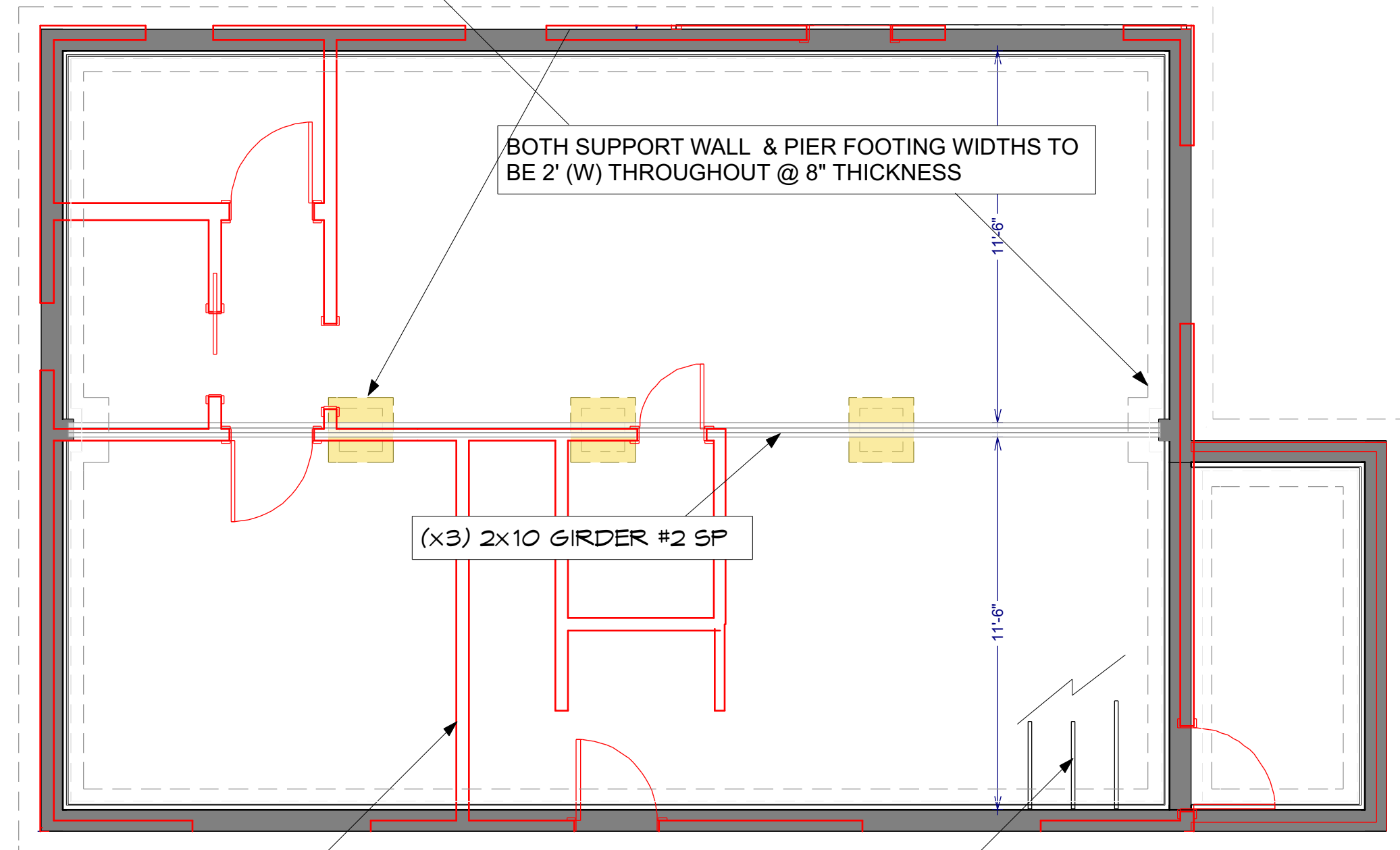
BUILDER HAS VERIFIED FOUNDATION FOOTINGS AND SUPPORTING WALLS TO BE CONDUCTIVE FOR AUGMENTATION OF 2ND LEVEL ADDITION PER THE 2021 IBC / TABLE 1809.7 PRESCRIPTIVE FOOTINGS SUPPORTING WALLS OF LIGHT-FRAME CONSTRUCTION a, b, c, d, e

BOTH SUPPORT WALL & PIER FOOTING WIDTHS TO BE 2' (W) THROUGHOUT @ 8" THICKNESS

(x3) 2x10 GIRDER #2 SP

MAIN LEVEL 2x8 FLOOR JOIST @ 16"O/C RUNNING FROM FRONT TO REAR OF HOME

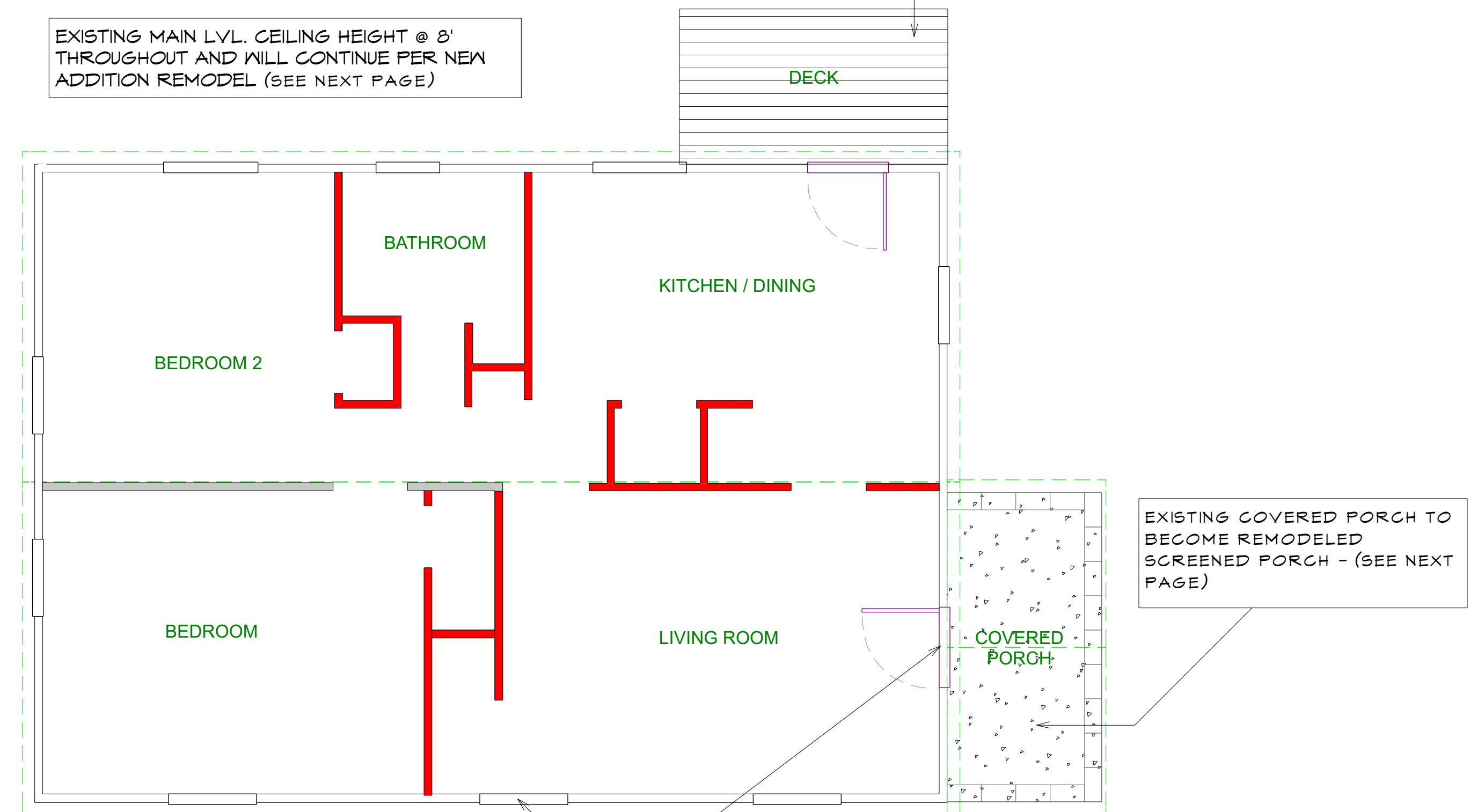
RED/REFERENCE LINES INDICATE PROPOSED MAIN LVL. FLOOR PLAN (SEE NEXT PAGE)



REAR OF HOME

EXISTING BACK DECK TO BE DEMOLISHED DUE TO AGE & REBUILT PER CODE (SEE NEXT PAGE FOR DETAILS)

EXISTING MAIN LVL. CEILING HEIGHT @ 8' THROUGHOUT AND WILL CONTINUE PER NEW ADDITION REMODEL (SEE NEXT PAGE)



EXISTING COVERED PORCH TO BECOME REMODELED SCREENED PORCH - (SEE NEXT PAGE)

ALL EXISTING WINDOWS & DOORS TO BE REMOVED - OPENINGS TO BE FRAMED & FINISHED ACCORDING TO PROPOSED REMODEL PLAN (SEE NEXT PAGE)

FRONT OF HOME

AS-IS WALL KEY

- = REUSE WALL (DO NOT DEMO)
- = DEMO WALLS

CLIENT LAKENRIDGE BUILDERS

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SCALE - (UNO)
1/4" = 1'

SHEET
A3



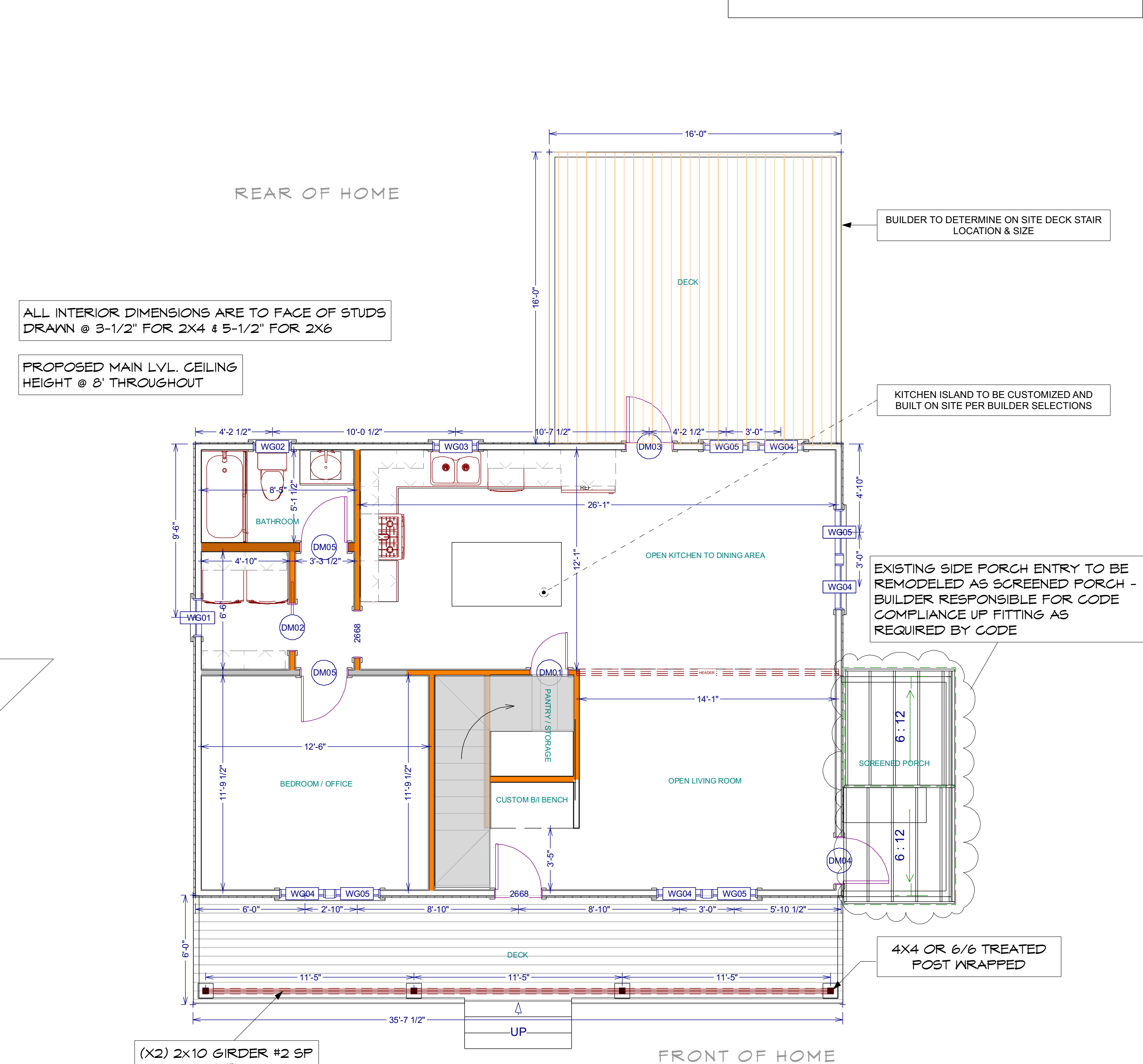
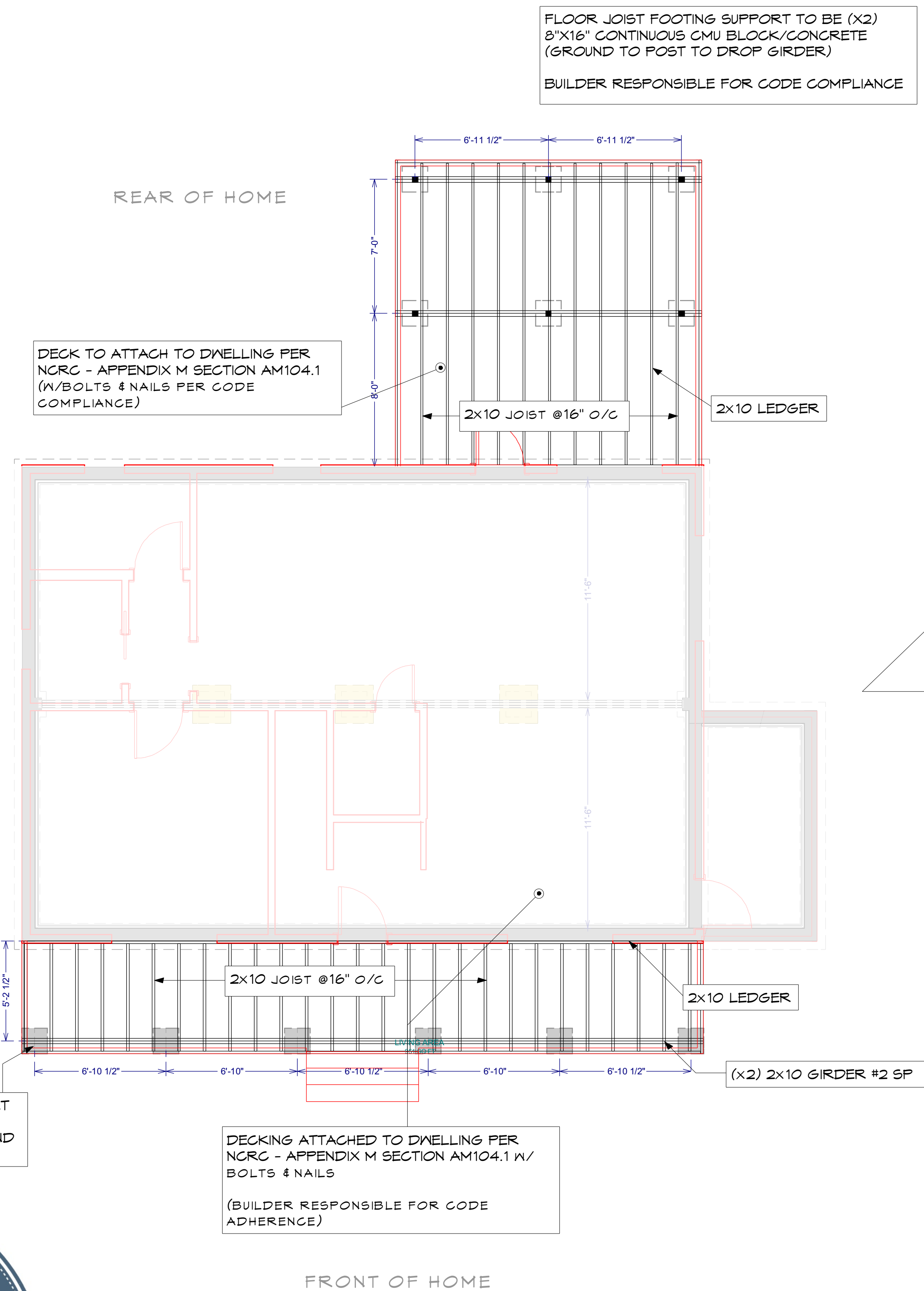
PROPOSED DECK/FRONT PORCH FOUNDATION & (MAIN LVL) FLOOR

PLAN SCALE: 1/4" = 1'-0"

MAIN LEVEL WALL KEY

- = USABLE (AS-IS) 2X4 WALL
- = 2X6 INT. WALL
- = 2X4 INT. WALL

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1/4" = 1'



WINDOW SCHEDULE															
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	CODE	MANUFACTURER	COMMENTS	QTY	NUMBER
WG01	1	1	21	35	25	38	26	X37	1/2"	2X6X2"	(2)			1	WG01
WG02	1	1	21	35	25	38	26	X37	1/2"	2X6X2"	(2)			1	WG02
WG03	1	1	26	32	30	32	31	X33	1/2"	2X6X4"	(2)			1	WG03
WG04	4	1	26	32	30	32	31	X33	1/2"	2X6X4"	(2)			4	WG04
WG05	4	1	26	32	30	32	31	X33	1/2"	2X6X4"	(2)			4	WG05

DOOR SCHEDULE															
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	HINGE	HANDLE	INTERIOR	HANDLE	EXTERIOR
DM01	1	1	20	88	24	80	25	X81	1/2"	1 3/8"	HINGE: HIDDEN (2)	HANDLE: KNOB			
DM02	1	1	26	88	30	80	31	X81	1/2"	1 3/8"	HINGE: HIDDEN (2)	HANDLE: KNOB			
DM03	1	1	26	88	30	80	31	X81	1/2"	1 3/8"	HINGE: HIDDEN (2)	HANDLE: KNOB			
DM04	1	1	26	88	30	80	31	X81	1/2"	1 3/8"	HINGE: HIDDEN (2)	HANDLE: KNOB			
DM05	2	1	26	88	30	80	31	X81	1/2"	1 3/8"	HINGE: HIDDEN (2)	HANDLE: KNOB			

SHEET
A4

PROPOSED 2ND LEVEL LAYOUT & FLOOR JOIST INFO

SCALE: 1/4" = 1'-0"

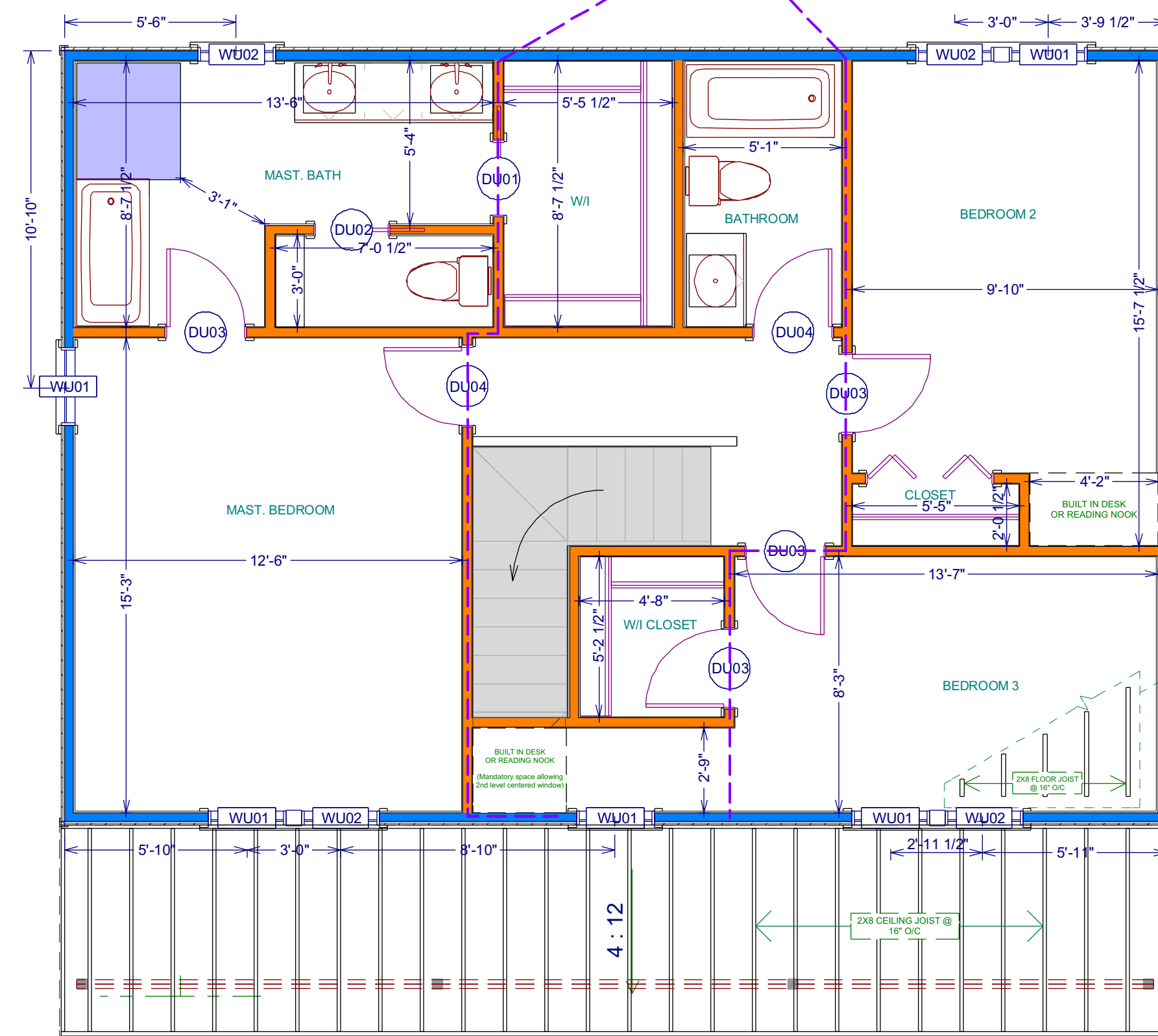
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REAR OF HOME

ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS
DRAWN @ 3-1/2" FOR 2X4 & 5-1/2" FOR 2X6

PROPOSED MAIN LVL. CEILING
HEIGHT @ 8' THROUGHOUT

LOAD PATHS FOR FRAMED PURLIN ROOF BRACING - (see next page for details)



WINDOW SCHEDULE											
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	CODE
WU01	5	2	2648SC	30"X56"SC	30"	56"	31"X57 1/2"		SINGL. CASEMENT-HL	2X6X34" (2)	
WU02	4	2	2648SC	30"X56"SC	30"	56"	31"X57 1/2"		SINGL. CASEMENT-HR	2X6X34" (2)	

DOOR SCHEDULE											
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	HINGE
DU01	1	2	2488 L	28"X80"X1 3/8" L	28"	80"	57"X81 1/2"	POCKET-PANEL	2X6X60" (2)	1 3/8"	
DU02	1	2	2488 R	28"X80"X1 3/8" R	28"	80"	57"X81 1/2"	POCKET-PANEL	2X6X60" (2)	1 3/8"	
DU03	4	2	2668 L IN	30"X80"X1 3/8" L IN	30"	80"	31"X81 1/2"	HINGED-PANEL	2X6X34" (2)	1 3/8"	HINGE: HIDDEN (2)
DU04	2	2	2668 R IN	30"X80"X1 3/8" R IN	30"	80"	31"X81 1/2"	HINGED-PANEL	2X6X34" (2)	1 3/8"	HINGE: HIDDEN (2)
DU05	1	2	4068 L/R	(4)12"X80"X1 3/8" L/R	48"	80"	48"X81 1/2"	4 DR. BIFOLD-SLAB	2X8X52" (2)	1 3/8"	HINGE: HIDDEN (4)

2ND LEVEL FLOOR JOIST TO RUN FRONT TO BACK OF HOME THROUGHOUT ENTIRE 2ND LEVEL

4:12 SHED ROOF RIDGE LINE HEIGHT/ATTACHMENT TO MAIN STRUCTURE AT 120" HEIGHT FROM MAIN LEVEL FLOOR - (SEE PAGE A9)

FRONT OF HOME

CLIENT
LAKENRIDGE BUILDERS

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LIBERTY
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DATE
11/10/2022

SCALE - (UNO)
1/4" = 1'

MAIN LEVEL WALL KEY

- = 2X6 EXT. WALL
- = 2X4 INT. WALL

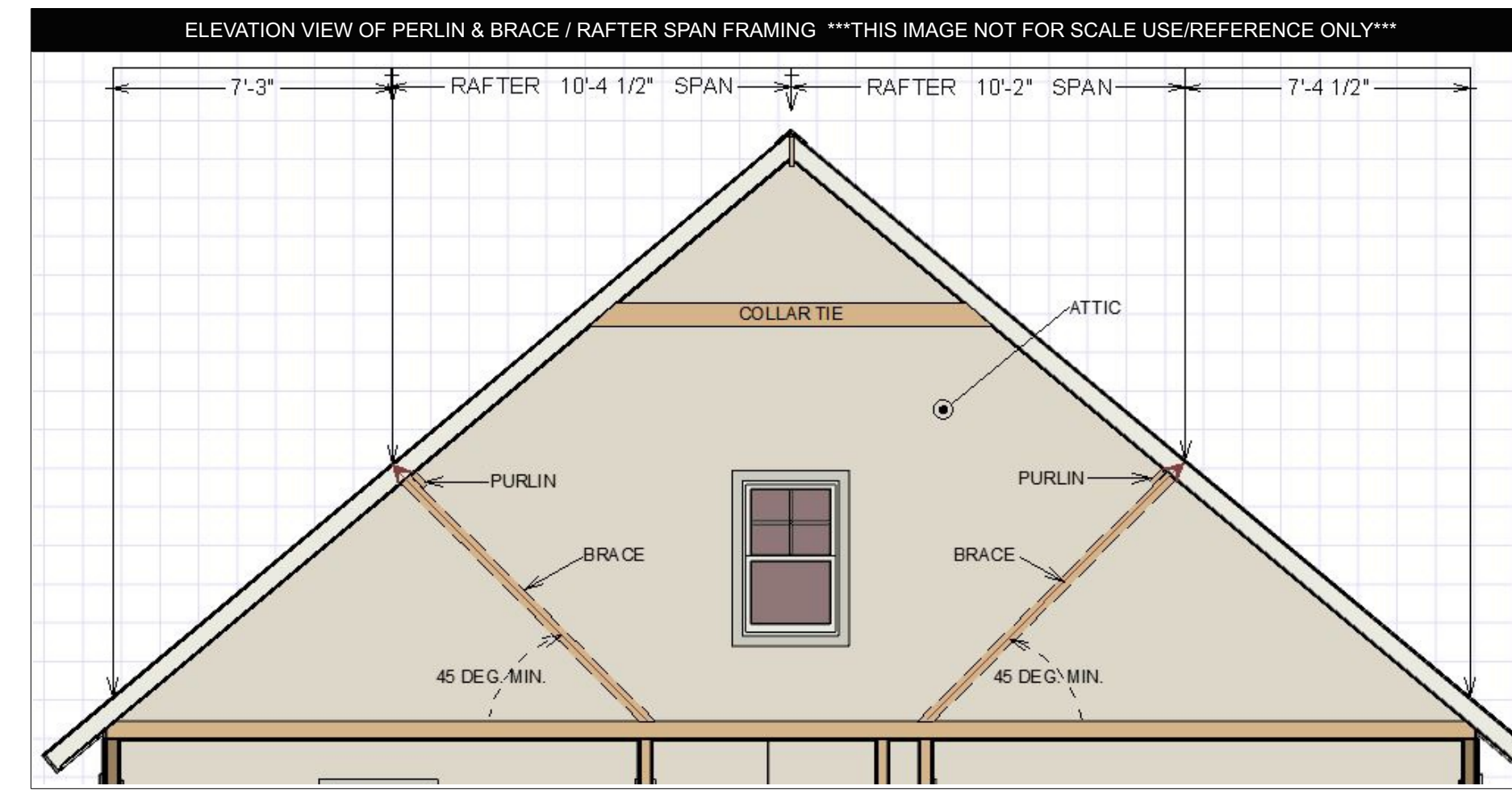
SHEET
A5



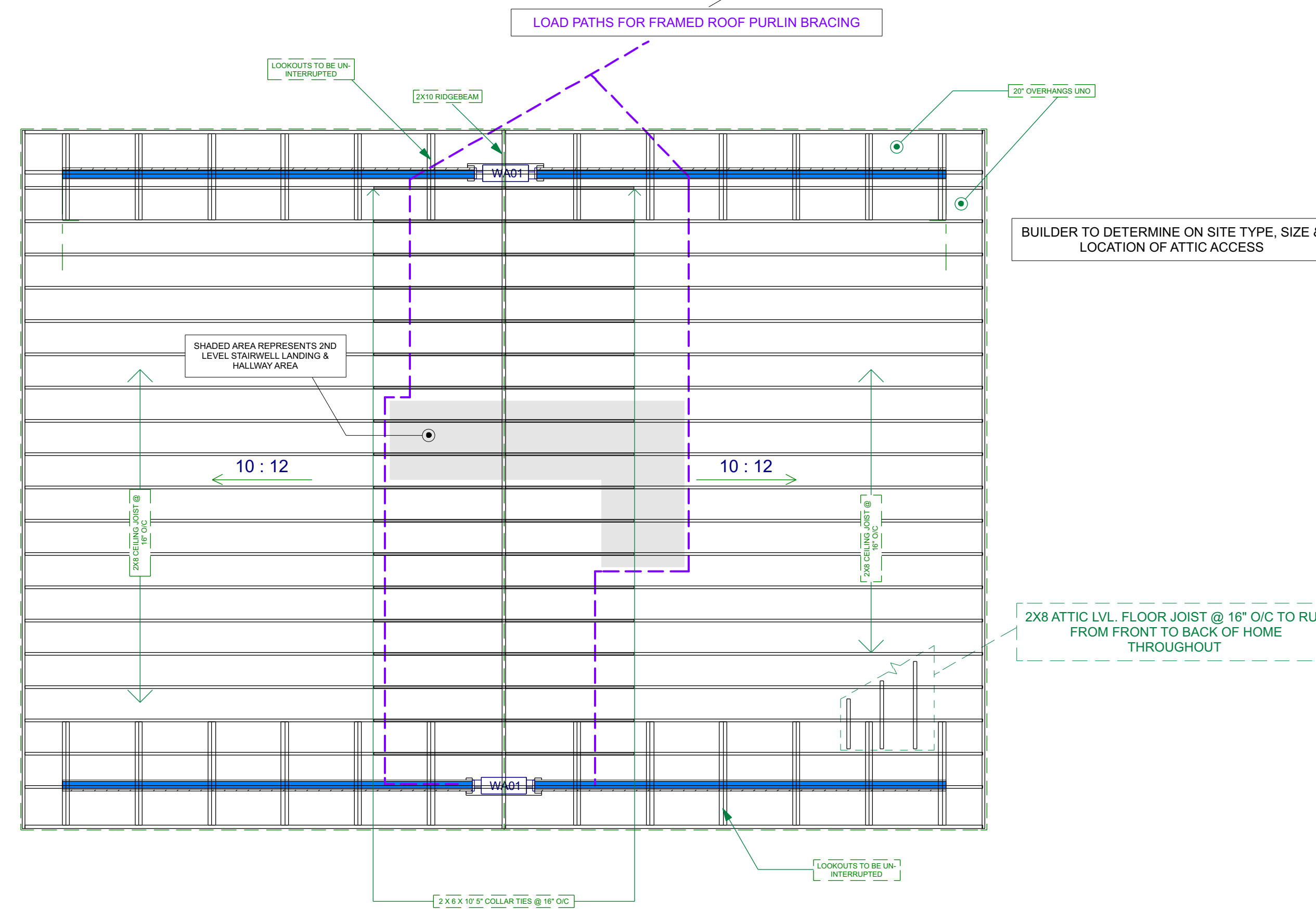
PROPOSED ATTIC/FLOOR & ROOF PLAN

SCALE: 1/4" = 1'-0"

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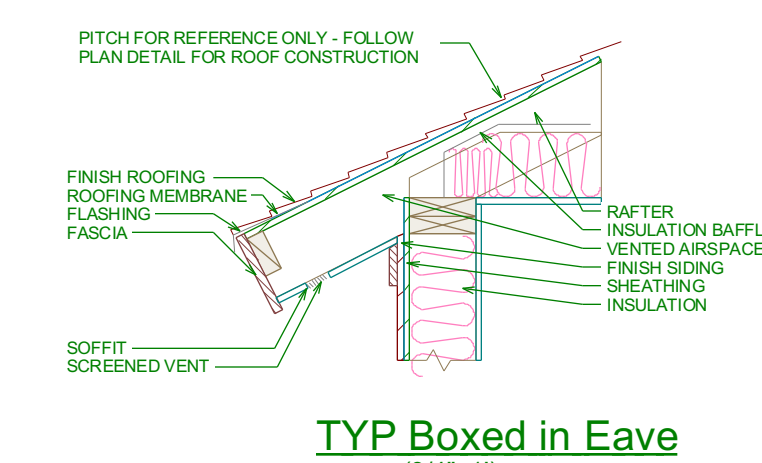


REAR OF HOME



WINDOW SCHEDULE															
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	CODE	MANUFACTURER	COMMENTS	QTY	NUMBER
WA01	2	3	2648SC	30"X56"SC	30"	56"	31"X57 1/2"		SNGL CASEMENT HR	2X6X34" (2)				2	WA01

FRONT OF HOME



CLIENT
LAKENRIDGE BUILDERS

TITLE
LIBERTY REMODEL & ADDITION
DATE
11/10/2022
SCALE - (UNO)
1/4" = 1'

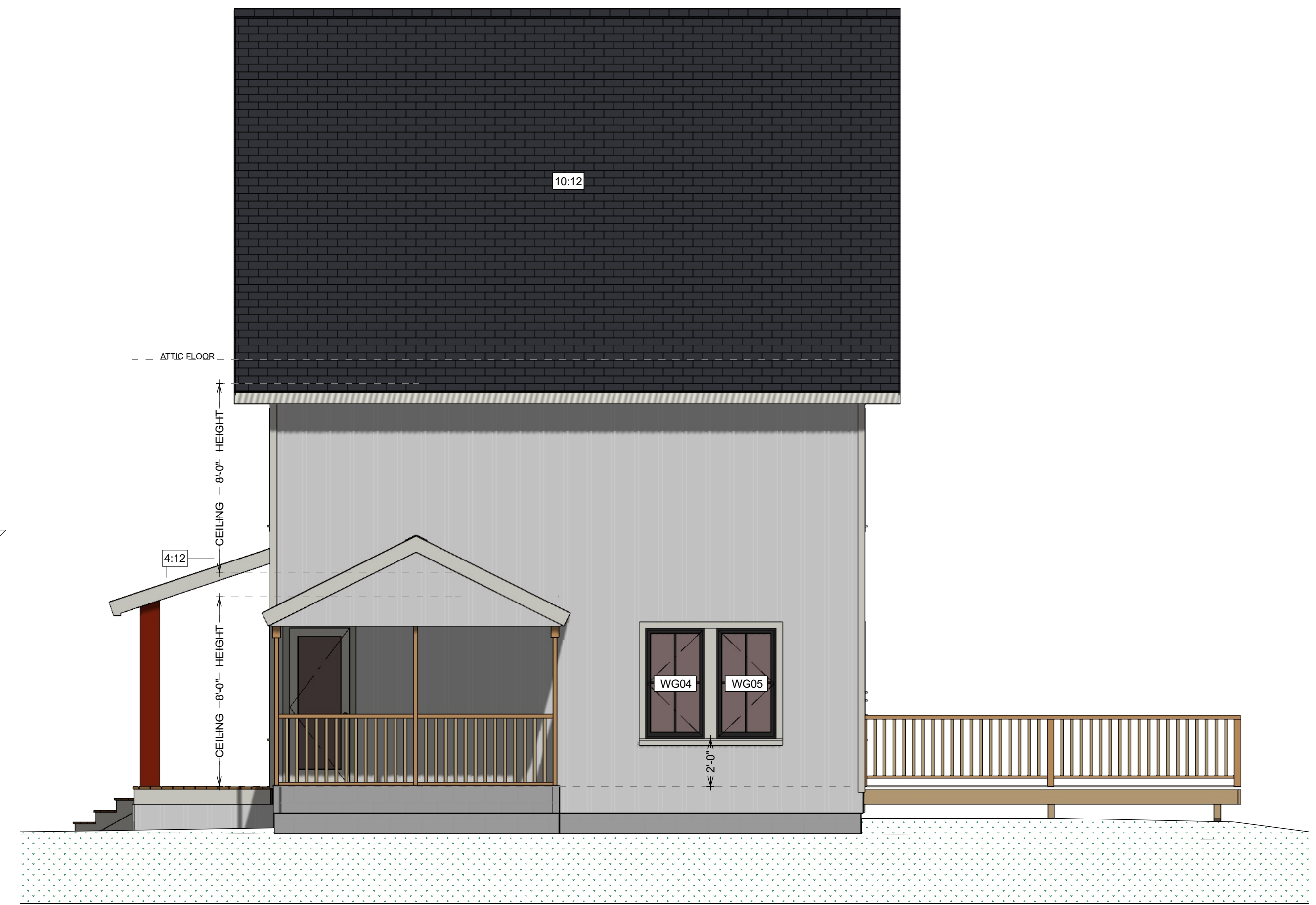
SHEET
A6



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FRONT



RIGHT

CLIENT
LAKENRIDGE BUILDERS

TITLE
LIBERTY
REMODEL &
ADDITION

DATE
11/10/2022

SCALE - (UNO)
1/4" = 1'

SHEET
A7



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CLIENT
LAKENRIDGE BUILDERS

TITLE
LIBERTY
REMODEL &
ADDITION
DATE
11/10/2022
SCALE - (UNO)
1/4" = 1'

SHEET
A8



REAR



LEFT

